

WORKSTATION UPFIT FOR NCDMV IRP

NORTH CAROLINA DIVISION OF MOTOR VEHICLES
1425 ROCK QUARRY ROAD, SUITE 100
RALEIGH, NORTH CAROLINA 27610

ARCHITECT:
FACILITIES DESIGN UNIT
NCDOT FACILITIES MANAGEMENT DIVISION
1 SOUTH WILMINGTON STREET
RALEIGH, NC 27601

Non-Residential Permit Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-966-2500



This form is required when seeking a non-residential building permit or zoning permit for development activity associated with townhome, apartment, office and/or commercial uses. Development activity involving a new structure, change of use, addition, in up, or alteration/repair that qualifies as Tier One Site Plan as referenced in United Development Ordinance (UDO) Section 10.2.8 ([See attached](#)) should use this application.

GENERAL INFORMATION		OFFICE USE ONLY	
2018 NC Building Code <input type="checkbox"/>	2018 Existing NC Building Code <input checked="" type="checkbox"/>	Case or Permit #:	
		Technician	
Applicant North Carolina Department of Transportation		Date:	10/5/2022
Project Address: 1425 Rock Quarry Road, Raleigh, NC 27610		Suite #:	100
Subdivision/Tenant/Shopping Center: 140 Business Park		Lot #:	
Property Owner: J.T. Hobby & Son, Inc.		Property Owner Phone:	919-783-6141
Property Owner Email: jtmh@hobbyproperties.com		Project Contact Phone:	919-707-4550
Project Contact: Mark D. Gibson		Project Contact Email:	mdgibson1@ncdot.gov
Review Type:		PROJECT INFORMATION	
Express Review <input type="checkbox"/>	Pony Express <input type="checkbox"/>	Commercial Review	<input checked="" type="checkbox"/>
Choose Work Type:			
There are two types of change of use: (1) Change of use according to the building code, which is also referred to as a change in building occupancy; and (2) A zoning change of use based on UDO Chapter 6. If a project's change of use is a zoning change of use, the Change of Use work type should be selected.			
Accessory Structure Addition <input type="checkbox"/>	Alteration/Repair <input type="checkbox"/>	Change of Use <input type="checkbox"/>	Site Permit Review <input type="checkbox"/>
Demolition <input type="checkbox"/>	Fit-up Interior Completion <input type="checkbox"/>	Mass Grading <input type="checkbox"/>	Multi-Family New Construction <input type="checkbox"/>
Stand Alone <input type="checkbox"/>	Tree Conservation <input type="checkbox"/>	Water/Sewer Service <input type="checkbox"/>	Other <input type="checkbox"/>
Provide a detailed project description: Interior renovation to replace old workstations and improve customer service and staff security. Minor demolition of demountable walls and minor construction of new walls. Minor plumbing and electrical work.			

Applicant signature

ADDITIONAL PROJECT INFORMATION			
Please fill in all blanks with the appropriate information. Missing information can result in a permit processing delay.			
Zoning district: IX-3 Industrial Mixed Use		Site information	
Existing use (UDO Ch. 6): Office Use		Required parking (UDO Sec. 7.1): existing spaces	
Proposed use (UDO Ch. 6): Office Use		Required parking (UDO Sec. 7.1): existing spaces	
Will impervious surface change? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		Existing impervious surface: sq. feet	
Proposed change in impervious: 0 sq. feet		Proposed total impervious: sq. feet	
Building information			
Existing building: 5,372 sq. feet	Is the existing building: Heated <input checked="" type="checkbox"/> Unheated <input type="checkbox"/>		
Proposed new building: 0 sq. feet	Is the proposed new building: Heated <input checked="" type="checkbox"/> Unheated <input type="checkbox"/>		
Total building size: 5,372 sq. feet	Is the total building: Heated <input checked="" type="checkbox"/> Unheated <input type="checkbox"/>		
Existing height: 16 feet	Proposed height: 16 feet	Number of stories: 1	
Total construction cost: \$150,000.00			

MECHANICAL EQUIPMENT QUESTIONS	
If the scope of the proposed work consists of replacement of existing mechanical equipment only and the answer to ANY of the below questions is "No," then a tier one site plan is required. See the Non-Residential Permit Checklist for submission requirements. If the answer to ALL the below questions is "Yes," a permit could be obtained using the E-Permit process.	
1. Is (are) the A/C unit(s) for which the permit is being applied for at the same location of the old/existing unit?	YES <input type="checkbox"/> NO <input type="checkbox"/>
2. Is (are) the A/C unit(s) for which the permit is being applied for the same size or smaller (BTU or Tonnage) than the old/existing unit(s)?	YES <input type="checkbox"/> NO <input type="checkbox"/>
3. Is (are) the A/C unit(s) for which the permit is being applied for the same type (split or package) unit?	YES <input type="checkbox"/> NO <input type="checkbox"/>
LIEN AGENT INFORMATION www.lieninc.com	
NC law requires appointment of a lien agent. Contractors/subcontractors can give notice when they are working on the project. Lien Agent appointments are not required for improvements under \$30,000, or to the owner's existing residence, or for public building projects.	
PLANS HOLDING POLICY	
It is the responsibility of the Applicant to pick up plans the each review cycle. If plans are not picked up 180 days from the last review cycle, they will be considered abandoned and will be destroyed.	
RESIDENTIAL INFILL COMPATIBILITY (UDO 22.7)	
If this project is subject to residential infill compatibility (UDO Section 22.7), a foundation survey may be required. The foundation survey must be available at the time of zoning site inspection. For more information about residential infill, visit the Residential Infill web page .	
Please select the response that applies to your application: <input type="checkbox"/> Yes, this property does qualify as residential infill development. <input type="checkbox"/> No, this property does not qualify as residential infill development. NOTE: If you are not sure if your property meets the infill standards, please complete an Infill Verification Request in the Permit and Development Portal . There is a \$45 fee for this request.	

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raleighnc.gov

BUILDING	
Contractor: TBD	License Holder Signature:
Address:	City/State/Zip
Phone:	Email
Total Project Sq. Ft.	Total Building Cost
Land Disturbing Permit #	Waste Co. Waste/Spill Permit #
Utilities: Water: <input type="checkbox"/> Public <input type="checkbox"/> Private <input type="checkbox"/>	Sewer: <input type="checkbox"/> Public <input type="checkbox"/> Private <input type="checkbox"/>
ELECTRICAL	License Holder Signature:
Contractor: TBD	NC License #/Class
Address:	City/State/Zip
Phone:	Email
Voltage: 50 or less <input type="checkbox"/> 600 or less <input type="checkbox"/> over 600 <input type="checkbox"/>	Total Electrical Cost
PLUMBING	License Holder Signature:
Contractor: TBD	NC License #/Class
Address:	City/State/Zip
Phone:	Email
MECHANICAL	License Holder Signature:
Contractor (HVAC): TBD	NC License #/Class
Address:	City/State/Zip
Phone:	Email
Type of Heating	Electrical <input checked="" type="checkbox"/> Gas <input type="checkbox"/> Hot Water <input type="checkbox"/> Oil <input type="checkbox"/> Air Condition Size in Tons.
Work Includes	Appliances <input type="checkbox"/> Appliance Duct <input type="checkbox"/> Ventilation <input type="checkbox"/> Refrigeration <input type="checkbox"/> Fuel Piping <input type="checkbox"/>
REFRIGERATION	NA
Address:	City/State/Zip
Phone:	Email
HOOD CONTRACTOR	NA
Address:	City/State/Zip
Phone:	Email
ZONING	NA
Contractor	Phone
Address:	City/State/Zip
Type of Work	Accessory Structure <input type="checkbox"/> Fence/Wall/Retaining Wall <input type="checkbox"/> Site Plan <input type="checkbox"/> Swimming Pool <input type="checkbox"/> Landscaping <input type="checkbox"/> Parking Lot <input type="checkbox"/> Solid Waste/Recycling <input type="checkbox"/> Other <input type="checkbox"/>
URBAN FORESTRY	NA
Contractor	Phone
Address:	City/State/Zip
Type of Work	Tree Conservation Area <input type="checkbox"/> Tree Pruning (TC/A) <input type="checkbox"/> Tree Impact Right-of-Way <input type="checkbox"/> Tree Buffer Protection <input type="checkbox"/> Tree Removal (TC/A) <input type="checkbox"/> Prop. Street Trees (Right-of-Way) <input type="checkbox"/>

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FIRE	
COMMERCIAL SPRINKLER CONTRACTOR	NA
Address:	NC License #/Class:
Phone:	City/State/Zip
FIRE ALARM CONTRACTOR	NA
Address:	NC License #/Class:
Phone:	City/State/Zip
FIRE SUPPRESSION CONTRACTOR	NA
Address:	NC License #/Class:
Phone:	City/State/Zip
If hazardous materials are involved please submit a Hazardous Materials Permit Application .	
Type of System	Compressed Gas <input type="checkbox"/> Fire Pump <input type="checkbox"/> Flammable/Combustible Liquids <input type="checkbox"/> Fuel Tank <input type="checkbox"/> Hazardous Materials <input type="checkbox"/> Hood <input type="checkbox"/> Industrial Ovens <input type="checkbox"/> Private Fire Hydrant <input type="checkbox"/> Sprinkler <input type="checkbox"/> Standpipe <input type="checkbox"/> Storage Battery <input type="checkbox"/> Suppression <input type="checkbox"/> Other <input type="checkbox"/>
SIGNS	
Sign Company	NA
Address:	Phone
Type of Sign	Aviating <input type="checkbox"/> Canopy <input type="checkbox"/> Construction <input type="checkbox"/> Ground <input type="checkbox"/> Off Premise <input type="checkbox"/> Protecting <input type="checkbox"/> Special Events <input type="checkbox"/> Temporary <input type="checkbox"/> Trail Identification <input type="checkbox"/> Wall <input type="checkbox"/>
*Awnings do not require a sign permit under the UDO; however, if the awning encroaches over the public right-of-way, a Minor Encroachment Application is required.	
NOTE FOR ALL SIGNS: If your sign projects over/into the public right-of-way, please submit a Minor Encroachment Application .	
LAND DISTURBING/FLOOD	
Contractor	NA
Address:	Phone
Total Disturbed Area (sq. ft.)	City/State/Zip
Flood Contractor	Construction Cost
Address:	Email
RIGHT-OF-WAY	City/State/Zip
Contractor	NA
Address:	Phone
Performance Bond and General Liability on file with City? Yes <input type="checkbox"/> No <input type="checkbox"/>	City/State/Zip
NOTE: Permits for work within the right-of-way cannot be issued without bond.	
Type of Work	Driveway new/mod <input type="checkbox"/> Sidewalk/Curb and Gutter new <input type="checkbox"/> Number of Driveways <input type="checkbox"/> Linear feet <input type="checkbox"/>

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UTILITY CONNECTION (Plumbing Utility, Stub, and Right-of-Way Permit may be required)	
Contact Person	NA
Address:	Phone
Tap will be installed by: City <input type="checkbox"/> Property: Residential <input type="checkbox"/> Commercial <input type="checkbox"/>	City/State/Zip
Contractor	NA
Type of Service	Water <input type="checkbox"/> Sewer <input type="checkbox"/> Individual <input type="checkbox"/> Master Meter <input type="checkbox"/> New Meter <input type="checkbox"/> Split Meter <input type="checkbox"/> Size of Meter <input type="checkbox"/>
UTILITY SERVICE (Water and Sewer service in Right-of-Way or Easement for Single Parcel)	NA
Address:	Phone
Contractor	City/State/Zip
Performance Bond and General Liability on file with City? Yes <input type="checkbox"/> No <input type="checkbox"/>	NC License #/Class
Water Size	Type
Proposed Stub Location	
Easement <input type="checkbox"/> or Right-of-Way (req. Right-of-Way Permits) <input type="checkbox"/>	
Easement <input type="checkbox"/> or Right-of-Way (req. Right-of-Way Permits) <input type="checkbox"/>	
Easement <input type="checkbox"/> or Right-of-Way (req. Right-of-Way Permits) <input type="checkbox"/>	
Easement <input type="checkbox"/> or Right-of-Way (req. Right-of-Way Permits) <input type="checkbox"/>	
If utility services for multiple parcels are needed please use the Water & Sewer Service Addendum	
PLUMBING UTILITY (Water and Sewer line from Right-of-Way to Foundation)	NA
Contractor	Phone
Address:	City/State/Zip
Water Service (From Meter to five feet of foundation)	Sewer Service (From property line to ten feet of foundation)

NOT FOR CONSTRUCTION



NCDOT FACILITIES DESIGN UNIT
ARCHITECT & ENGINEERS
1 SOUTH WILMINGTON STREET
RALEIGH, NORTH CAROLINA 27601
PHONE: 919/707-4540 FAX 919/715-0399



CITY OF RALEIGH NON-RESIDENTIAL PERMIT APPLICATION

Workstation Upfit for
NCDMV IRP Office

1425 ROCK QUARRY ROAD, SUITE 100
RALEIGH, NORTH CAROLINA 27610

STATE CONSTRUCTION
22-25738-01A
ASSET NUMBER:
COL# SITE# BLDG#
XX - XX - XX
REVISIONS
NO. DATE

DATE ISSUED: 4/22/22
DRAWN BY: MDC
CHECKED BY: MDC
SHEET NO.

G0.1

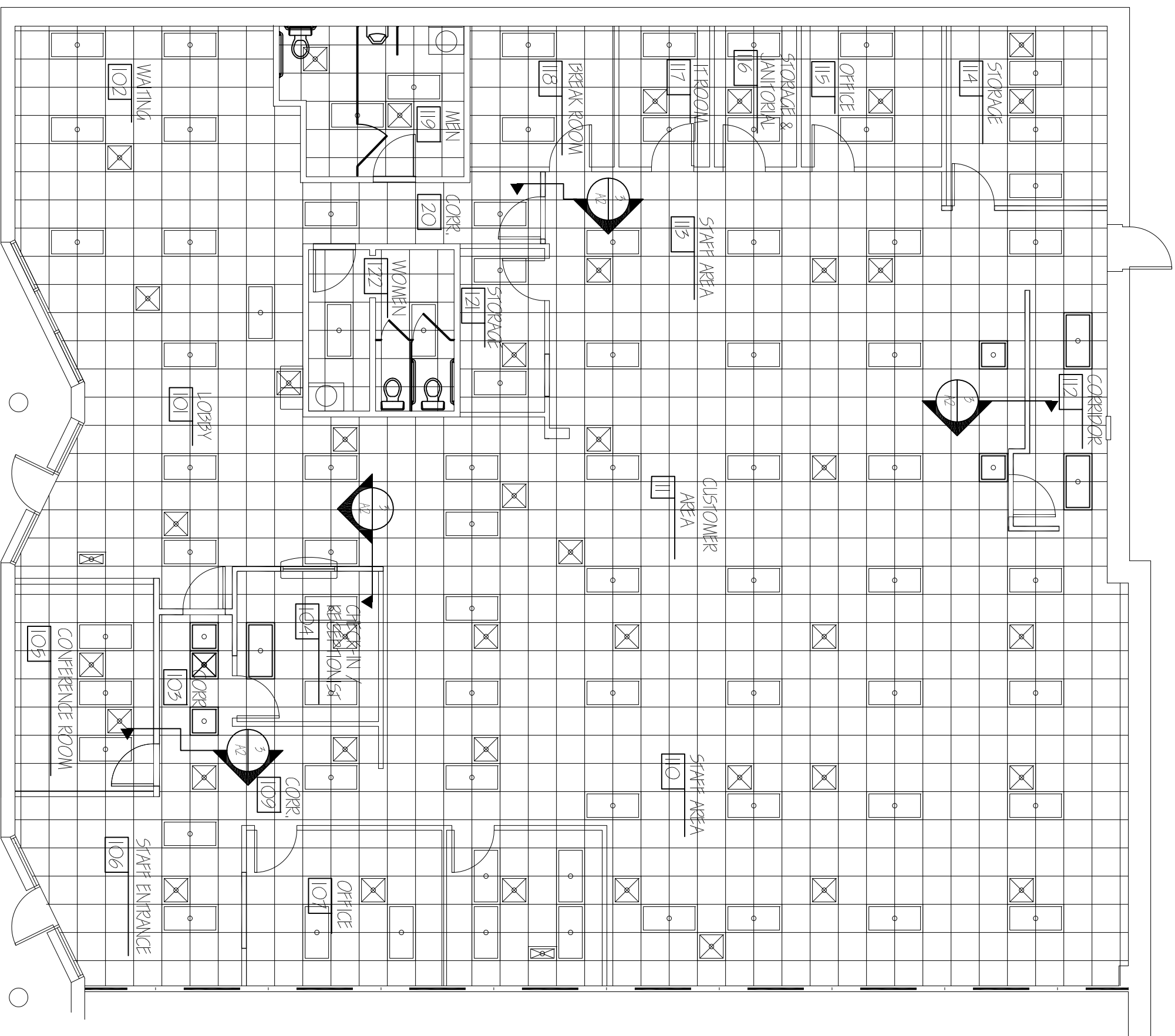
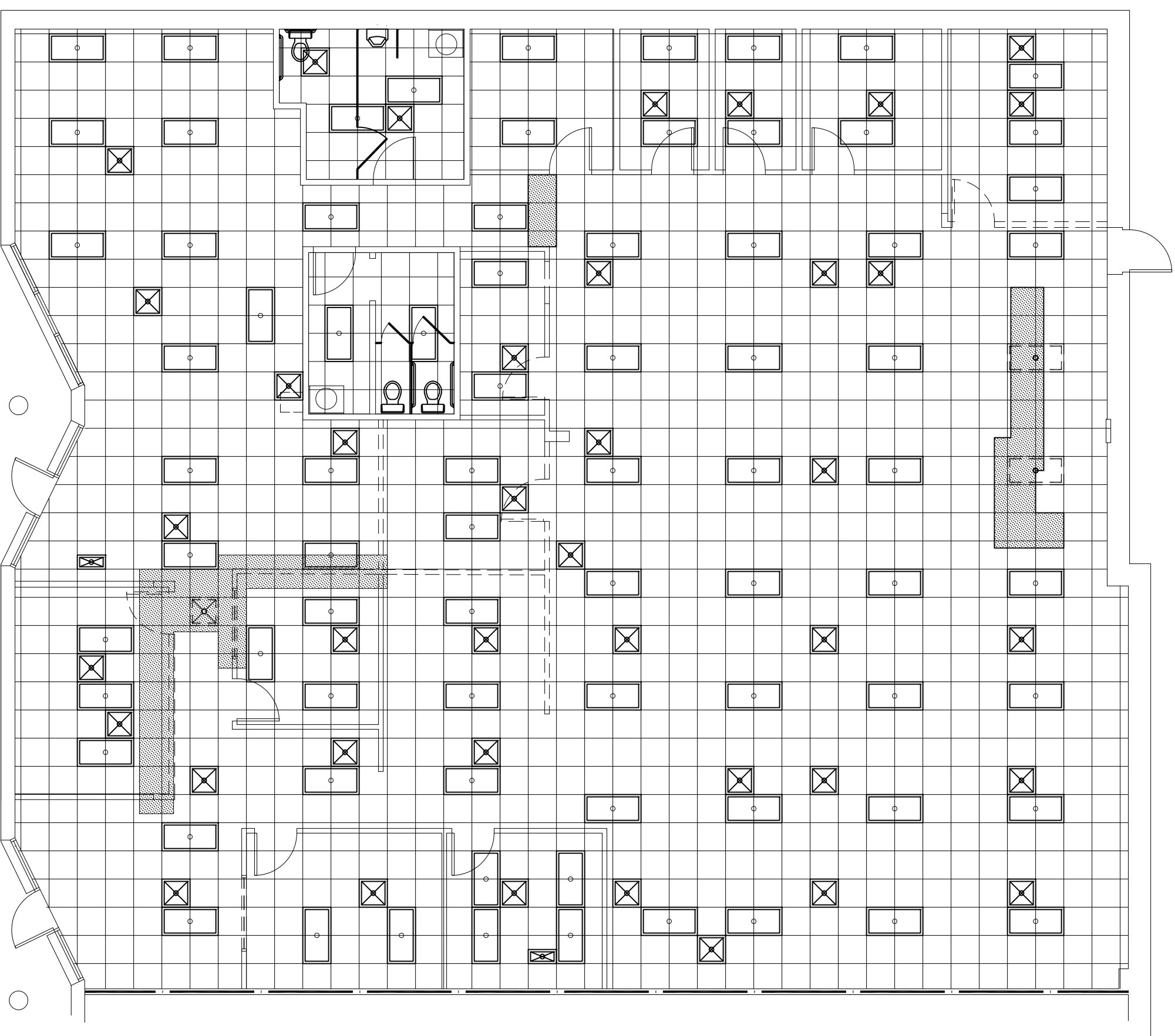
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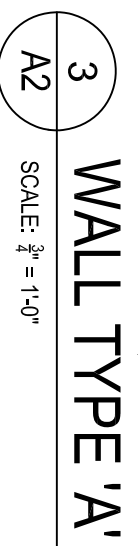
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[illegible]

PLAN NORTH

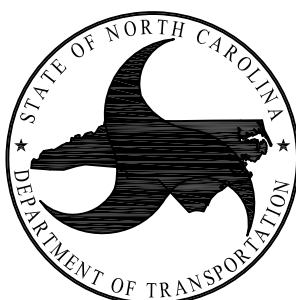
0 2' 4' 8' 12'



CONSTRUCTION DOCUMENTS



1 SOUTH WILMINGTON STREET
RALEIGH, NORTH CAROLINA 27601
PHONE: 919/707-4540 FAX 919/715-0399



Workstation Upfit for NCDMV IRP Office

1425 ROCK QUARRY ROAD, SUITE 100
RALEIGH, NORTH CAROLINA 27610

ASSET NUMBER:	
CO.#	SITE.# BLDG.#
XX	XX XX XX
REVISIONS	
NO.	DATE

DATE ISSUED: 4/22/22
DRAWN BY:
CHECKED BY:
SHEET NO.

A2

PIPE SIZING SCHEDULE			
PICTURE TYPE	DRAIN	VENT	HW
(EMC) ELECTRIC WATER COOLER	1 1/4"	1 1/4"	1/2"*

4 WATER RISER
SCALE: NTS

Diagram of a single-line system. A horizontal line represents the transmission line. At the left end, it is labeled "EMC". At the right end, it is labeled "EXSTG. CW" with a bracket indicating a fault. A circle with the number "2" is located below the line, with an arrow pointing to the line near the EMC end.

NOTE: EXISTING IS SHOWN ON THIS SHEET AS FOUND FIELD INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR VISUALLY VERIFYING ALL RELEVANT INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF EXISTING CONDITIONS. NOTIFY THE ENGINEER OF ANY DISCREPANCIES NOTED.

REMOVE AND REPLACE ALL CONCRETE, ASPHALT, WALL MATERIAL, CEILING, ETC., AS REQUIRED TO EXPOSE EXISTING LINERS AND INSTALL NEW LINER.

IT IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO LOCATE ANY AND ALL EXISTING BUILDING SYSTEMS IN CONCRETE FLOORS, WALLS, CEILING, ETC. PRIOR TO START OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF EXISTING CONDITIONS. NOTIFY THE ENGINEER OF ANY DISCREPANCIES NOTED.

REMOVE AND MAINTAIN EXISTING SYSTEMS OPERATION, COMPATIBLE WITH BLOC OWNER, ARCH, C.C. AND/OR MAINTENANCE PERSONNEL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF EXISTING CONDITIONS. NOTIFY THE ENGINEER OF ANY DISCREPANCIES NOTED.

EXISTING WALL, WALL EXISTING BUILDING FRAMEWORK, LINER AND SYSTEMS (SEWERS), GREASES, ETC., SHALL BE TO BE UTILIZED BY THE CONTRACTOR FOR THE CONSTRUCTION OF NEW BUILDINGS THROUGHOUT THE PROJECT.

[illegible]

DRAWING TITLE / DISCRPTION:

EXISTING/DEMO & WORKSTATION UPEIT PLUMBING PLAN

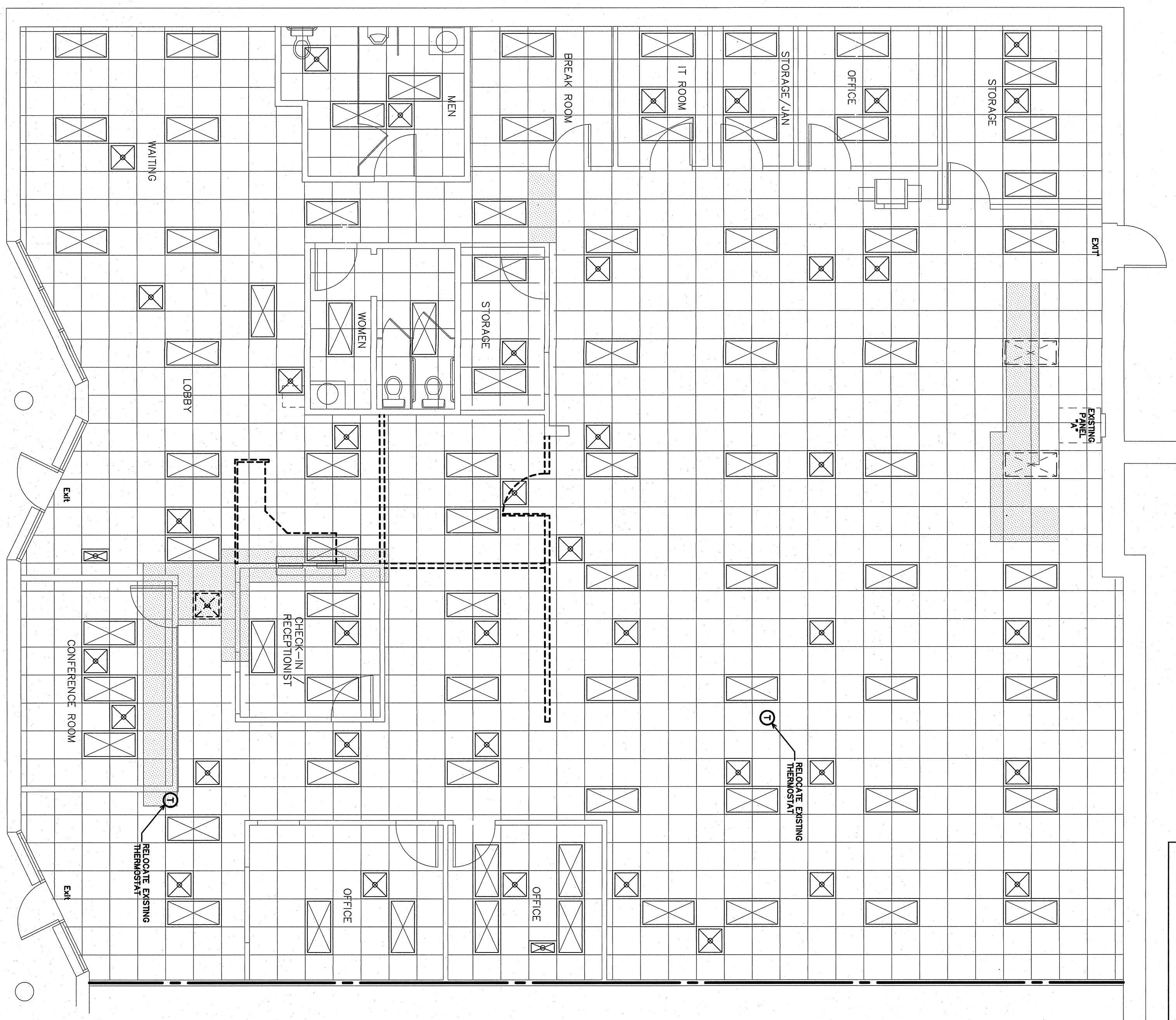
STATE CONSTRUCTION	
ID# 22-00000-01A	
EQUIPMENT NUMBER: 0000-0000-0000	
REVISIONS	
NO.	DATE

DATE ISSUED: 08/30/22
DRAWN BY: DS
CHECKED BY: BEB
SHEET NO. 12.0

The floor plan shows a building layout with the following rooms and features:

- Top Section:** A long horizontal row of rooms including **STORAGE**, **OFFICE**, **STORAGE / JAN**, **IT ROOM**, **BREAK ROOM**, **MEN**, and **WOMEN** restrooms.
- Left Side:** A **WAITING** area and a **LOBBY** area with an entrance marked "E" and "2".
- Center:** A large **CUSTOMER AREA** containing a long row of service counters, each with a staff member icon. To the left of this area is a **CHECK-IN / RECEPTIONIST** desk and a **CONFERENCE ROOM**.
- Right Side:** Two **OFFICE** spaces, a row of storage units, and a row of chairs.

NOTE:
THE INFORMATION SHOWN ON THIS DRAWING IS FROM A FIELD INVESTIGATION. ALL RELEVANT INFORMATION
HAS BEEN OBTAINED AND VERIFIED. THE DRAWING IS THE PROPERTY OF BURKE DESIGN GROUP, P.A.
THE SUBMISSION OF A BID INDICATES ACCEPTANCE OF EXISTING CONDITIONS. MAINTAIN ALL EXISTING CIRCUITS
BEING USED. NOTIFY THE ENGINEER OF ANY DISCREPANCIES NOTED.



NC DWM IRP - 441

WALL LEGEND

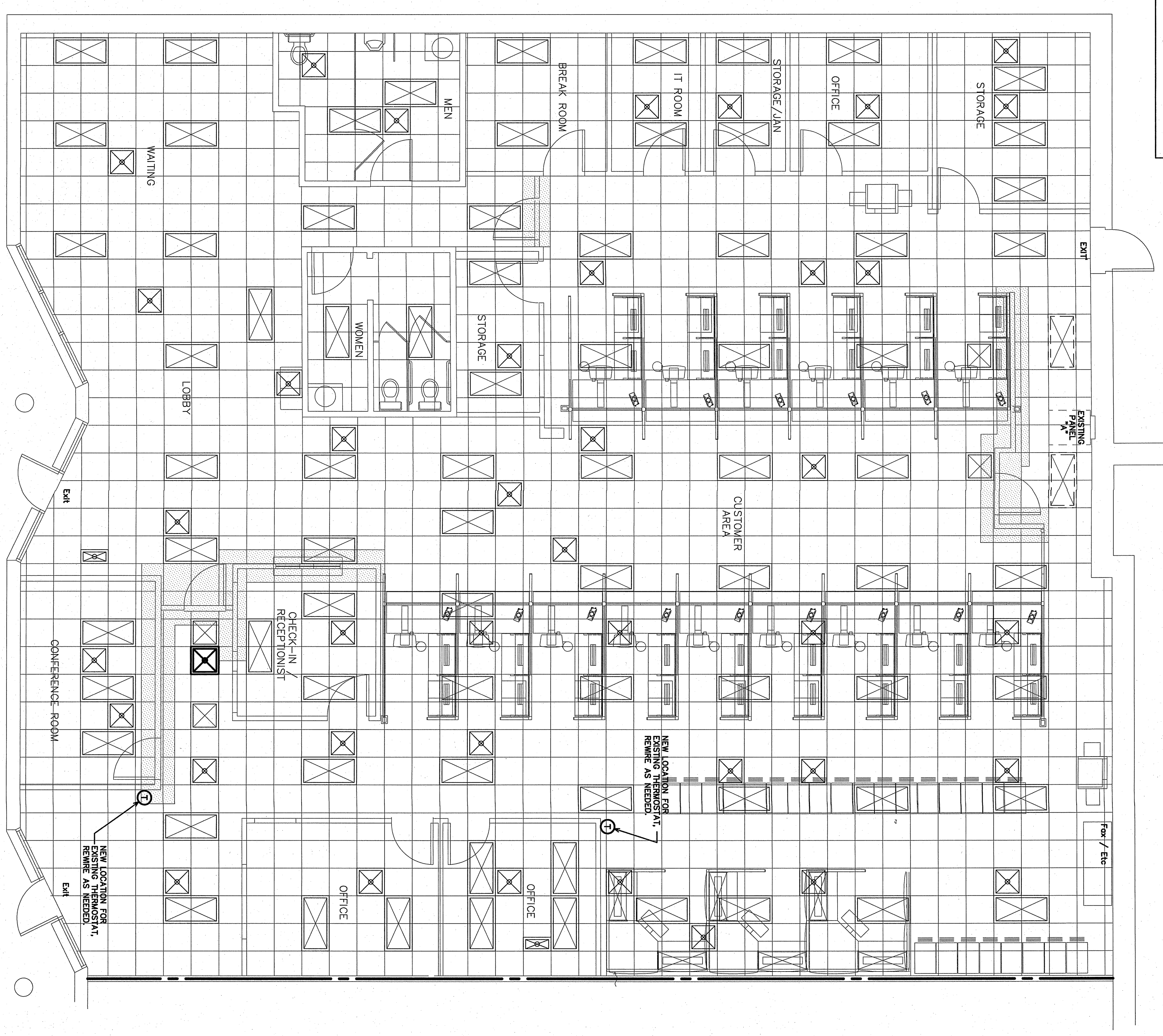
EXISTING SUPPLY GRILLE TO REMAIN IN PLACE

EXISTING SUPPLY GRILLE TO BE RELOCATED, SEE 1/A1.0

EXISTING WALL TO REMAIN

EXISTING WALL TO BE REMOVED

2 EXISTING/DEMO HVAC PLAN
SCALE 3/16"=1'-0"



NC DWM IRP - 441

WALL LEGEND

EXISTING SUPPLY GRILLE TO REMAIN IN PLACE

NEW LOCATION FOR EXISTING SUPPLY GRILLE, PROVIDE
EXTENDED FLEX DUCT AS NEEDED, SEE 2/A1.0

NEW WALL/EXISTING WALL TO REMAIN

1-HOUR FIRE BARRIER

1 WORKSTATION UPFIT HVAC PLAN
SCALE 3/16"=1'-0"

M1.0

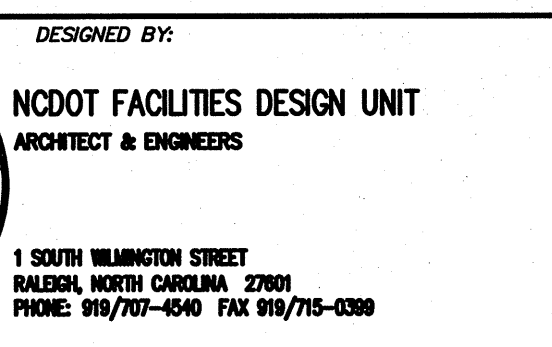
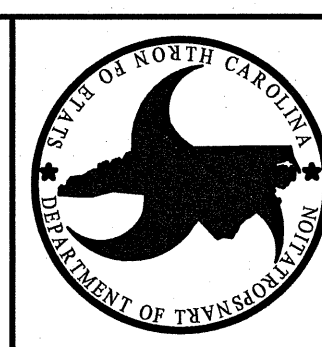
DATE ISSUED: 09/29/22
DRAWN BY: CES
CHECKED BY: BSB
SHEET NO.

PROJECT TITLE:
Workstation Upfit for
NCDMV IRP Office
1425 ROCK QUARRY ROAD
RALEIGH, NORTH CAROLINA 27610

DRAWING TITLE / DESCRIPTION:
EXISTING/DEMO & WORKSTATION UPFIT PLAN

CONSULTANT:
ENGINEER
BURKE DESIGN GROUP, P.A.
CONSULTING ENGINEER
3305-109 Durham Drive
Raleigh, North Carolina 27603
919.771.1916 fax: 919.779.0826
email: benburke@nc.rr.com
Corp. License # C-2652

DESIGNED BY:
NCDOT FACILITIES DESIGN UNIT
ARCHITECT & ENGINEERS
1 SOUTH WASHINGTON STREET
RALEIGH, NORTH CAROLINA 27601
PHONE: 919/707-4540 FAX: 919/715-0399



CONSTRUCTION DOCUMENTS

DIVISION 16 – ELECTRICAL

PART 1 – GENERAL

1.1 DESCRIPTION OF THE WORK

- A. Work under this section includes, but is not necessarily limited to, furnishing and installing the following:
1. Supply and installation of electrical equipment.
 2. Provide and install electrical equipment with items to match.
 3. Wiring devices, boxes, cover plates, etc.
 4. Source of power for all items of equipment.
 5. Grounding.
 6. Other requirements on/ or systems where shown.
 7. All work shall be completed and items, equipment, etc. shall be electrically connected for proper and correct operation.
 8. All work under this contract shall be installed in accordance with the latest edition of the following codes and standards insofar as they apply: Code:
 1. The 2017 National Electrical Code.
 2. The National Electrical Safety Code.
 3. Underwriter's Laboratories, Inc., Standards and approved listings or other approved 3rd party listing agency.
 4. Electrical Testing Laboratories standards.
 5. 2018 North Carolina State Building Code.
 6. 2018 North Carolina State Energy Code.
 9. The Electrical Contractor shall be licensed in the State of North Carolina and have all local licenses required for the work.
 10. Local permits and inspections are by the City of Raleigh. The electrical contractor is responsible for contacting the City of Raleigh (Wake County) Electrical Inspector, for all required inspections. All scheduling shall be Monday through Friday unless otherwise exempted by SCO

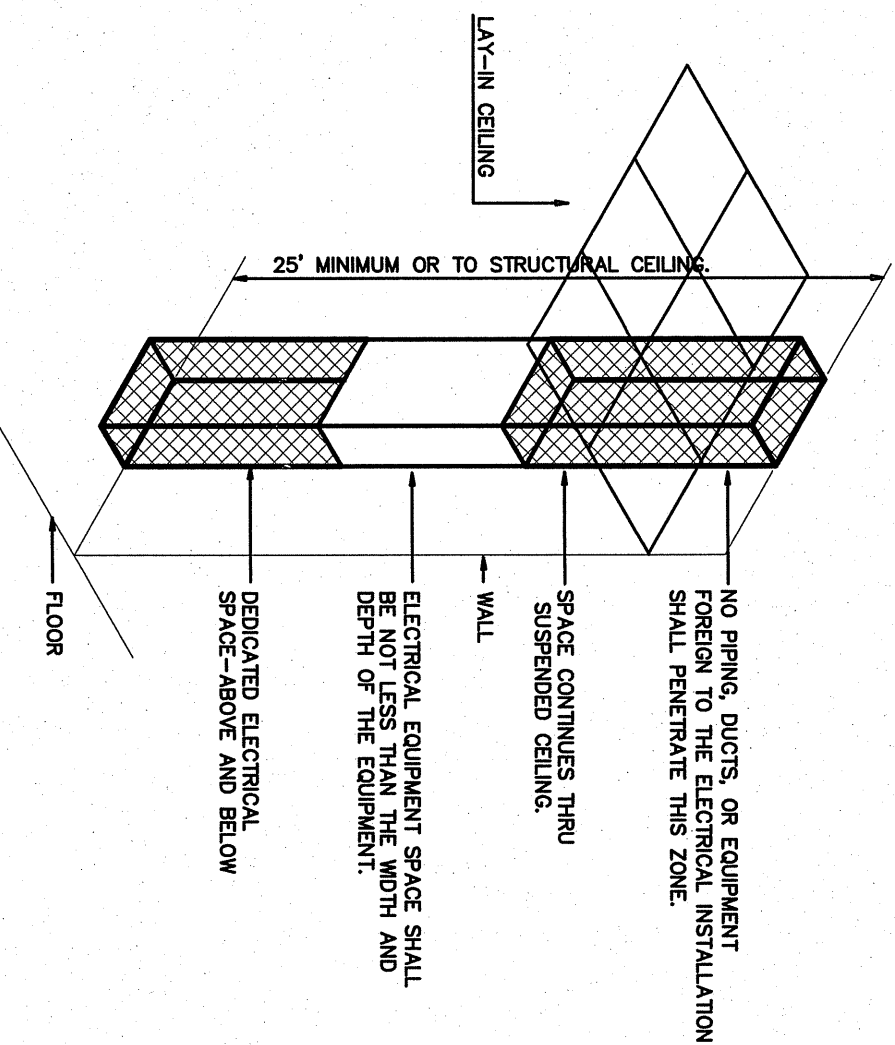
- F. All work shall be done by skilled mechanics and shall present a neat, trim, workmanlike condition when complete.
12. INTENT
- A. The intent of these specifications and the accompanying drawings is to convey as reasonably as possible the requirements for a complete job ready for the building to operate. The Electrical Contractor shall take this into consideration and include in his base bid allowance for contingencies as will allow him to provide minor pieces of equipment and labor not specifically provided but to the Owner.
13. COORDINATION
- A. Coordinate work with other contractors. Notify Architect of apparent conflicts early to expedite construction. If structural damage appears imminent, stop work and notify architect for a decision before resuming construction.
- B. Locations shown are approximate. The drawings do not show all details. The contractor shall be responsible for showing all details, fittings, ducts, conduit, etc., and do not show all offsets and other installation details which may be required. Coordinate all locations with architect before any rough-in.

1.4 SHOP DRAWINGS

- A. Shop drawings shall be submitted for panels and service equipment, lighting, wiring devices and cover plates. These may consist of the manufacturer's standard catalog or tear sheets and shall show the exact items being offered clearly identified.

PART 2 – PRODUCTS AND MATERIALS

- 2.1. GENERAL
- A. All material shall be new and shall bear the manufacturer's name, label and be third party inspected to NIOSH listed and labeled where such standard has been established for the particular material. Materials shall be the standard products of manufacturer regularly engaged in the manufacture of the required type of equipment and the manufacturer's latest approved design.
1. Boxes and conduit in concealed locations shall be set flush with finished surfaces.
 2. Provide rated boxes in all fire barriers & walls installed per code.



ELECTRICAL EQUIPMENT DEDICATED SPACE
PER ARTICLE 110.26.F.1 OF N.E.C.

1 DEDICATED SPACE
SCALE NTS

2.2 CONDUCTORS

- A. Conductors shall be color coded, size #6 and larger may be color taped on the job. Color coding shall comply with 2017 NEC.

- 120/240V, 1 phase
Phase A- Orange
Phase B- Red
Phase C- Blue
Neutral- White
Ground- Green
- 480/277V, 3 phase
Phase A- Orange
Phase B- Red
Phase C- Blue
Neutral- White
Ground- Green

- B. Conductors shall be manufactured by Dodge, Southwire, Dayton Systems or approved equal. Conductors shall meet the latest requirements of NEMA and IEEE and shall be third party acceptable to NIOSH approved.

- C. Conductors shall be applied and taped as follows:
 1. Splicing and termination shall be made with "Weld-On" or "Tape" connectors. Connectors shall be rated for 150 degrees C for use in increased lighting fixtures.
 2. Size #6 and larger shall be solderless screw and screw-clamping type, smoothly covered and shaped with rubber gum type with find cover vinyl plastic electrical tape in lieu of rubber gum and apply electrical tape over the entire length of the conductor. Insulating covers may be used. All conductors shall be UL approved.
 3. No split-bolt type connectors may be used.

- D. All branch wire and connections shall be copper and sized per National Electric Code with a minimum size of #12.
- E. All conductors shall be continuous without splice between junction, outlet, device boxes, etc. No splicing will be permitted in panelboard cabinets, safety switches, etc.

- F. All wiring in mechanical spaces shall be plenum rated.

- G. Provide GFI protection within 6'-0" of any sink.

- H. Multi-wire branch circuits are not allowed per SCO Guidelines

- 2.3. PANELBOARDS, SAFETY SWITCHES

- A. Panelboards shall comply with NEMA Standard PB 1 – Latest Edition and as manufactured by Square D or ITC-Stiemens.
- B. All panel boards must have copper buses and bolt-in breakers. Safety switches shall be heavy duty type, size and rating as required for load service. Safety switches shall be listed and labeled for use in increased lighting fixtures. Safety switches shall be UL approved.

- 2.4. WIRING DEVICES

- A. Wiring devices shall be listed specifications by Underwriters Laboratories, Inc. All wiring devices shall be "weather-dry" rated weatherproof while in use covers. Color by Architect.
- B. Wiring devices installed under a Kitchen Hood shall have stainless steel covers.
- C. Wiring devices installed over counters shall comply with ANSI A171.

2.7 CONDUIT

- A. PVC conduit will be allowed under slab. Provide rigid turn-ups.
- B. All exposed conduit shall be rigid steel where exposed to the elements, located less than 6'-0" above grade or where exposed to hazardous conditions.
- C. EMT conduit, above slab, concealed or exposed above 6'-0" shall be used through out the project.
- D. Metallic sheathed MC cable should not be used for this project, without exception. If used, MC cable shall be 1/2" with minimum #12 AWG copper wire and green insulated copper ground.

2.8 LIGHT FIXTURES

- A. New 2' x 2' light fixture should match existing brand, style and color, or approved equal by owner.

PART 3 – EXECUTION

3.1 CIRCUIT GROUNDING

- A. All circuits shall contain an insulated, green, copper grounding conductor, sized in accordance with Table 250-122 of the NEC. Grounding conductors shall be connected to equipment grounding bus in panelboard and securely attached and grounded to the device or enclosure of the other end.

3.2 GROUNDING TYPE CONVENIENCE OUTLETS AND SWITCHES

- A. Outlets and switches shall be safety grounded to equipment grounding system with a green colored insulated conductor. Electrical connections shall be continuous from equipment ground bus in panelboard to the two nut on the convenience outlet or switch.

3.3 MOTORS

- A. All motor shall be connected to conduit system with short length (minimum length 24" and maximum length 30") of flexible liquidtight conduit.

3.4 EQUIPMENT LABELING

- A. Provide permanent specific plate name plates for all panelboards, safety switches, wiring troughs, etc. for identification of equipment controlled. Provide equipment with identification of equipment controlled. Include the name of the equipment and where it is fed from. Color Coding- Blue surfaces with white cover- 120/240V equipment. Black surfaces with white cover- 277/480V equipment. Green surfaces with white cover- emergency systems. Dark red surfaces with white cover- security systems. Brown surfaces with white cover- data systems. White surfaces with black cover- paging systems. Purple surfaces with white cover- TV systems.
- B. All switch plates, receptacle plates and outlet covers shall be labeled with machine printed vinyl labels identifying the circuit(s) within.
- C. All empty conduit runs shall be identified and indicated where they terminate.
- D. Clearly identify each circuit, switch, etc.

3.5 JUNCTION AND/OR PULL BOXES

- A. Boxes shall be installed where necessary to avoid excessive runs and/or too many bends between outlets.

3.6 PULL WIRE

- A. Leave pull wire in each empty conduit run.

3.7 GROUNDING

- A. All grounding shall be in accordance with Article 250 of the NEC.
1. Grounding conductors shall be installed as to permit the shortest and most direct path from equipment to ground.
 2. All connections to grounding conductors shall be accessible.
 3. Equipment ground continuity shall be maintained through flexible metal conduit.
 4. All wiring devices equipped with grounding connection shall be solidly grounded to ground system with grounding conductors.
 5. The frame of all lighting fixtures shall be securely grounded to the equipment ground system with grounding conductors.
 6. All equipment, enclosures, and non-current-carrying metallic parts of electrical equipment, raceways, etc., shall be effectively and adequately bonded to ground.
 7. The raceway system shall not be relied on for ground continuity.
 8. A green grounding conductor, properly sized per NEC table 250-122, shall be run in all power raceways.
 9. Provide ground resistance testing for all service grounds upon completion of grounding & bonding system per 2020 SCO guidelines 28.03.00.8

3.8 ELECTRICAL WORK IN CONNECTION WITH OTHER WORK

- A. The trades (s) furnishing equipment will provide disconnect switches, motor starters, and make sure equipment connections are made in accordance with manufacturer's instructions to disconnect switches or motor starters.

3.9 CLEAN UP

- A. During construction, keep the site clear of debris. Upon completion, and before final inspection, clean up the premises to remove all evidence of work. In addition upon completion of construction leave equipment clean.

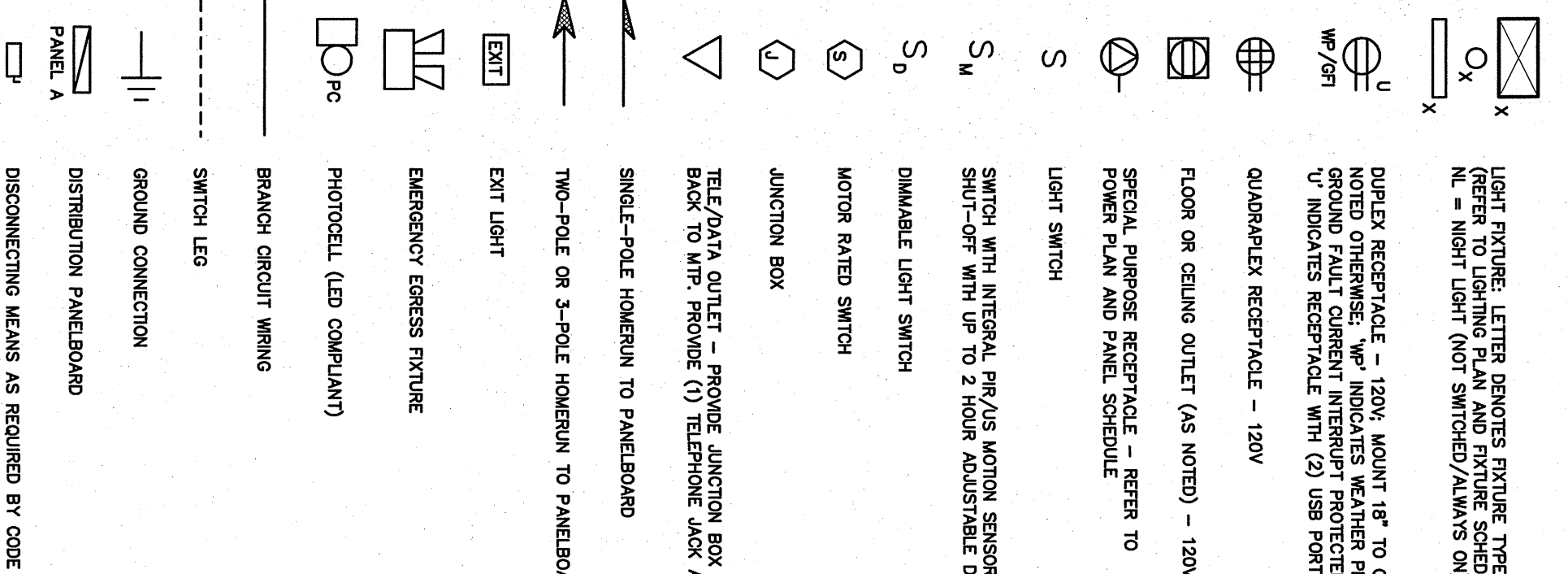
3.10 GUARANTEE

- A. Guarantee all materials and labor included in the electrical work for a period of one year from date of final acceptance by the Owner. Any part or parts of the work or equipment which prove to be defective during the guarantee period shall be replaced at no additional cost to the Owner.

GENERAL NOTES

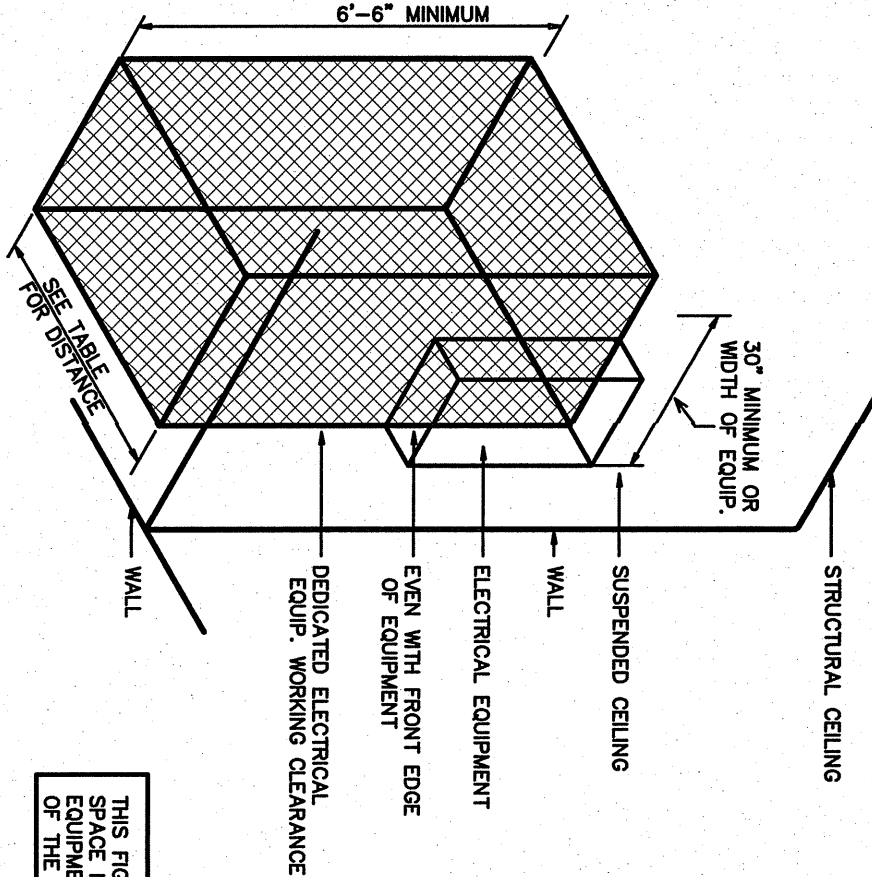
1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ALL LOCAL CODES HAVING JURISDICTION.
2. ALL BRANCH CIRCUIT CONDUCTORS TO BE CARRIED SERVICE CONDUCTORS TO BE COPPER UNLESS OTHERWISE SPECIFIED. ANY ALUMINUM CONDUCTORS MUST BE COMPANIONED WITH CITY OF RALEIGH.
3. ALL CIRCUITS TO BE 2 #12, 1 #12 AND 1/2" EMT CONDUIT AS A MINIMUM.
4. ALL CIRCUITS TO BE 2 #12, 1 #12 AND 1/2" EMT CONDUIT AS A MINIMUM.
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20. ALL CIRCUITS TO BE 2 #12, 1 #12 AND 1/2" EMT CONDUIT AS A MINIMUM.

ELECTRICAL LEGEND



ELECTRICAL EQUIPMENT WORKING CLEARANCE
PER ARTICLE 110-28 OF N.E.C.

WORKING CLEARANCES	
VOLTAGE TO GROUND NOMINAL	MIN. CLEAR DISTANCE IN FEET
0-150	1
151-600	3
601-1000	3-1/2
1001-1500	4



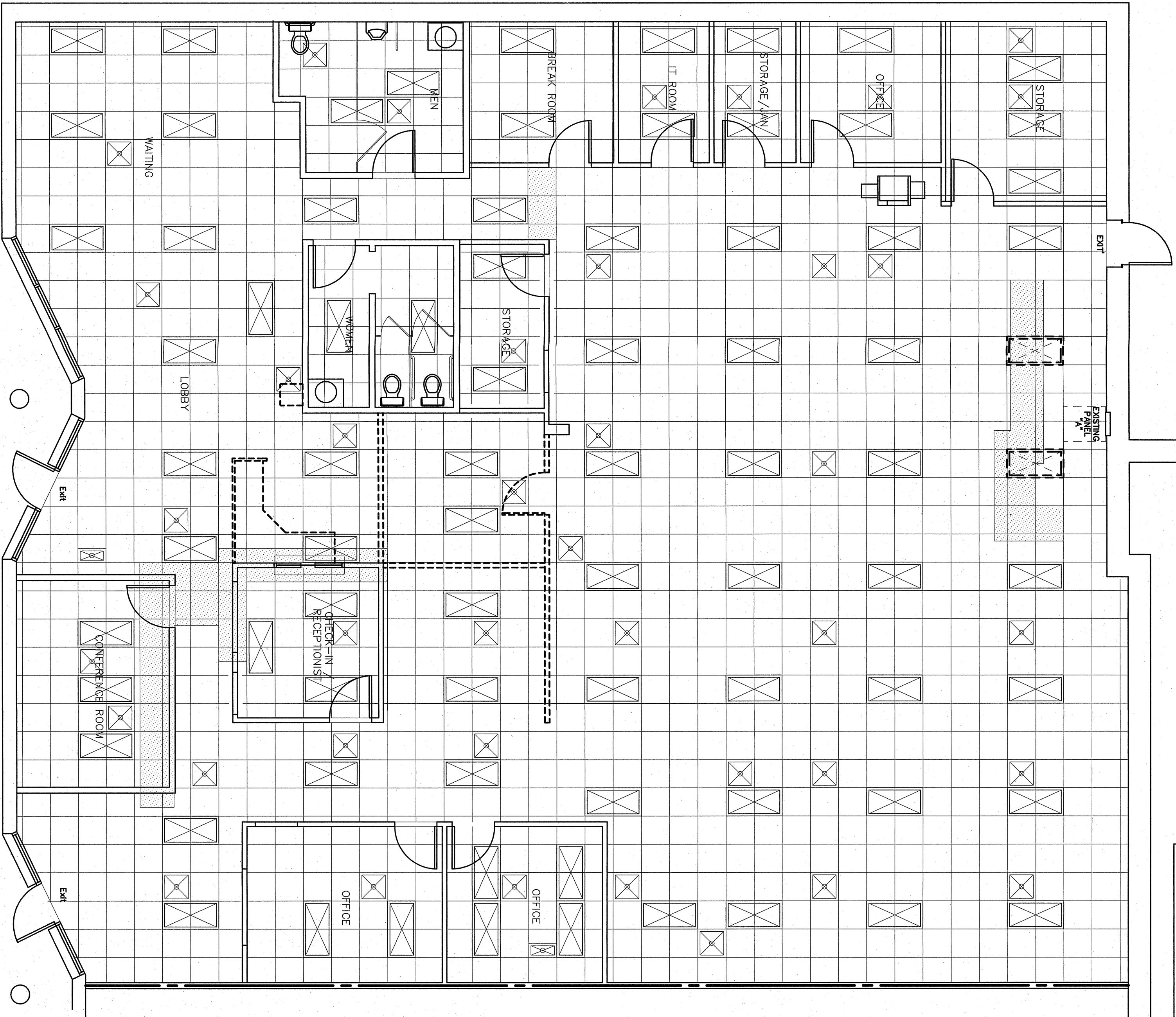
THIS FIGURE ILLUSTRATES THE WORKING CLEARANCE REQUIRED BY SECTION 110-16 OF THE N.E.C.

- WHERE THE CONDITIONS ARE AS FOLLOWS:
1. EXPOSED LIVE PARTS ON ONE SIDE AND NO LIVE PARTS ON THE OTHER SIDE.
 2. EXPOSED LIVE PARTS ON BOTH SIDES EFFECTIVELY GUARDED BY SAFETY WOOD OR SAFETY FENCING.
 3. EXPOSED LIVE PARTS ON ONE SIDE AND GROUNDED PARTS ON THE OTHER SIDE.
 4. EXPOSED LIVE PARTS ON BOTH SIDES OF THE WORK SPACE NOT GUARDED AS REMOVED IN CONDITION 1.

NOTE:
THE INFORMATION SHOWN ON THIS DRAWING IS FROM A FIELD INVESTIGATION. ALL RESIDENT INFORMATION
HAS BEEN OBTAINED FROM THE FIELD INVESTIGATION. THE SUBMISSION OF A BID INDICATES ACCEPTANCE OF EXISTING CONDITIONS. MAINTAIN ALL EXISTING CIRCUITS
BEING USED. NOTIFY THE ENGINEER OF ANY DISCREPANCIES NOTED.

NOTE:
THE EXISTING OFFICE FURNITURE SHALL BE REMOVED BY OTHERS.
THE EXISTING OFFICES SHALL BE RE-USE.
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NOTE:
THE INFORMATION SHOWN ON THIS DRAWING IS FROM A FIELD INVESTIGATION. ALL RELEVANT INFORMATION
HAS BEEN OBTAINED FROM THE FIELD INVESTIGATION. THE INFORMATION IS NOT TO BE USED FOR
THE SUBMISSION OF A BID INDICATES ACCEPTANCE OF EXISTING CONDITIONS. MAINTAIN ALL EXISTING CIRCUITS
BEING USED. NOTIFY THE ENGINEER OF ANY DISCREPANCIES NOTED.



NC DMT IRP - E3

WALL LEGEND

EXISTING LIGHTS TO REMAIN IN PLACE

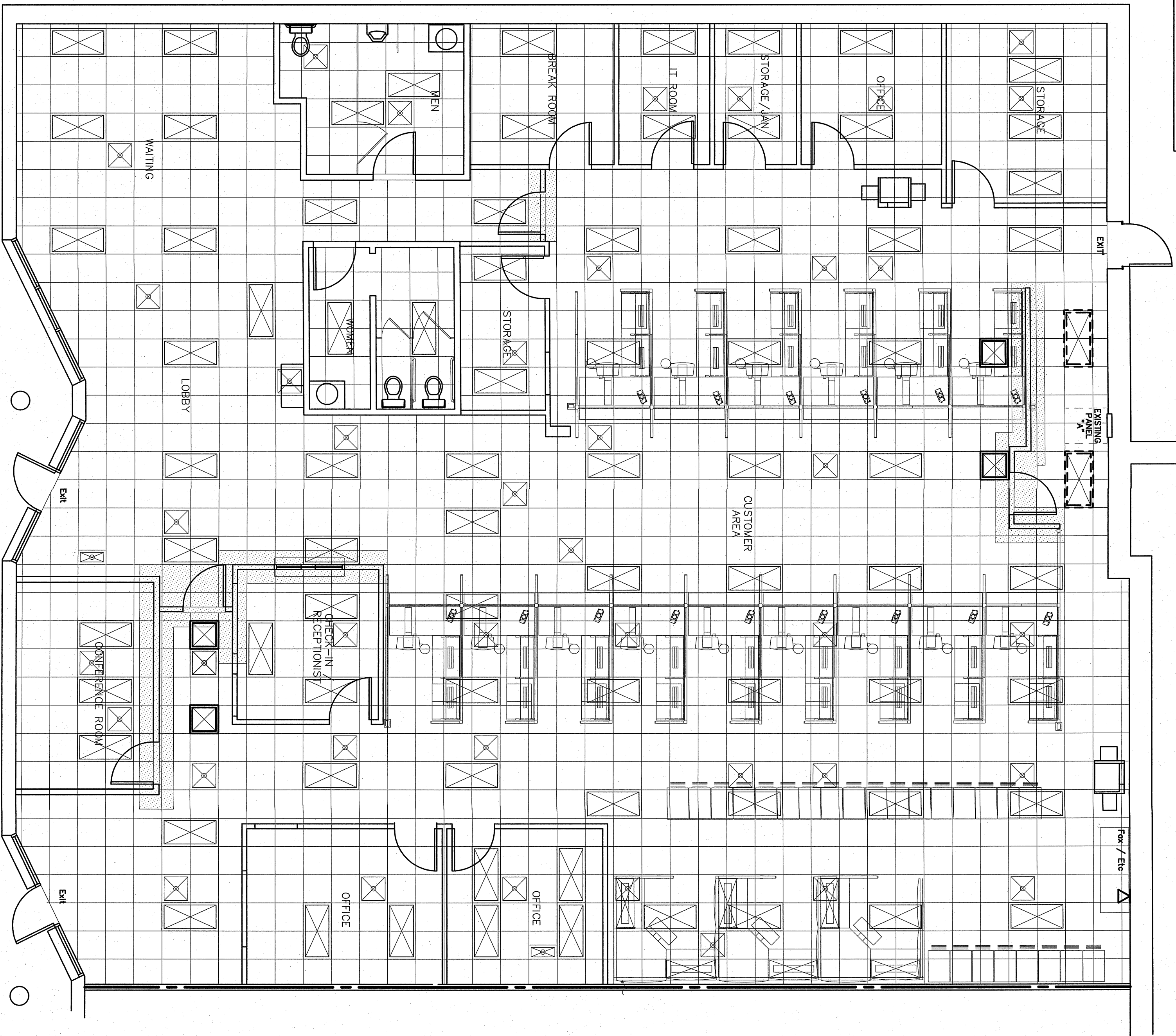
EXISTING LIGHTS TO BE RELOCATED, SEE 1/E3.0

EXISTING WALL TO REMAIN

EXISTING WALL TO BE REMOVED

2 EXISTING/DEMO LIGHTING PLAN

SCALE 3/16"=1'-0"



NC DMT IRP - E3

WALL LEGEND

EXISTING LIGHTS TO REMAIN IN PLACE

NEW LOCATION FOR EXISTING LIGHTS, PROVIDE EXTENDED
LIGHT WHP AS NEEDED, SEE 2/E3.0

NEW LIGHTS, CONNECT TO LOCAL LIGHT CIRCUIT

NEW WALL/EXISTING WALL TO REMAIN

1-HOUR FIRE BARRIER

1 WORKSTATION UPFIT LIGHTING PLAN

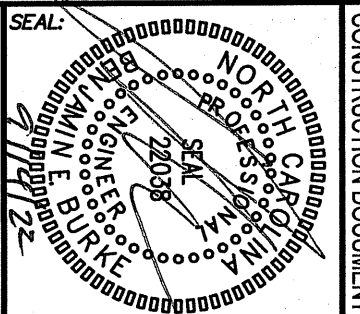
SCALE 3/16"=1'-0"

DRAWING TITLE / DESCRIPTION:
EXISTING/DEMO & WORKSTATION UPFIT PLAN

CONSULTANT:
ENGINEER
BURKE DESIGN GROUP, PA
CONSULTING ENGINEERS
3305-109 Durham Drive
Raleigh, North Carolina 27603
919.771.1916 fax: 919.779.0826
email: benburke@nc.rr.com
Corp. License # C-2652



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NCDOT FACILITIES DESIGN UNIT
ARCHITECT & ENGINEERS
1 SOUTH WILMINGTON STREET
RALEIGH, NORTH CAROLINA 27601
PHONE: 919/707-4540 FAX 919/715-0388



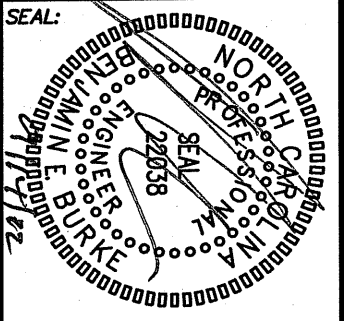
CONSTRUCTION DOCUMENTS

PROJECT TITLE:
**Workstation Upfit for
NCDMV IRP Office**
1425 ROCK QUARRY ROAD
RALEIGH, NORTH CAROLINA 27610

STATE CONSTRUCTION
ID # 22-00000-01A
EQUIPMENT NUMBER:
0000-0000-0000
REVISIONS
NO. DATE

DATE ISSUED: 08/29/22
DRAWN BY: EES
CHECKED BY: BSB
SHEET NO.

113.0



DESIGNED BY:
NCDOT FACILITIES DESIGN UNIT
ARCHITECT & ENGINEERS

1 SOUTH WILMINGTON STREET
RALEIGH, NORTH CAROLINA 27601
PHONE: 919/707-4242 FAX: 919/715-0380

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MDG
BURKE DESIGN GROUP, PA
CONSULTING ENGINEERS
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Raleigh, North Carolina 27603
919.771.1916 fax: 919.779.0826
email: benburke@nc.rr.com
Corp. License # C-2852

DRAWING TITLE / DISCRPTION:
ELECTRICAL PANEL
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PROJECT TITLE:
**Workstation Upfit for
NCDMV IRP Office**

1425 ROCK QUARRY ROAD
RALEIGH, NORTH CAROLINA 27610

STATE CONSTRUCTION ID.# 22-0000-01A	
EQUIPMENT NUMBER: 0000-0000-0000	
REVISIONS	
NO.	DATE
DATE ISSUED: 08/20/22	CLS
DRAWN BY: CLS	
CHECKED BY: BEB	

SHEET NO.
44.0

EXISTING PANEL- "A"										MAKE: SQUARE D		RATING: 200/120V, 3 PHASE 4 WIRE		MALCO MAIN CIRCUIT BREAKER	
TYPE: 300 LOAD CENTER										TYPE: 300 LOAD CENTER		MOUNTING: FLUSH		EQUIPMENT GROUND BUS: <input type="checkbox"/> YES <input type="checkbox"/> NO	
										MINIMUM A.C. VOLTAGE		SERVICE ENTRY RATED: <input type="checkbox"/> YES <input type="checkbox"/> NO		DYES <input type="checkbox"/> NO	
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